

PLANNING JUSTIFICATION REPORT

**Applications to Amend the Halton Hills Official Plan and
Zoning By-law, and Draft Plan of Subdivision
Glen Williams Estates Inc.
102 Confederation Street
Town of Halton Hills (Glen Williams)**



August 2020

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1.0 INTRODUCTION

Wellings Planning Consultants has been retained by Glen Williams Estates Inc. to prepare this Planning Justification Report in support of amendments to the Official Plan, Zoning By-law and Draft Plan of Subdivision applications required to permit the proposed development of lands legally described as Part of Lot 21, Concession 9, former Township of Esquesing (**Schedule 1**).

Glen Williams Estates Inc. has retained the assistance of additional specialized consultants. The following plans, reports and materials have been prepared separately in support of the proposed applications:

- | | |
|---|---------------------------------------|
| • Draft Plan of Subdivision | Wellings Planning Consultants Inc. |
| • Public Consultation Strategy | Wellings Planning Consultants Inc. |
| • Urban Design Study | NAK Design Strategies |
| • Architectural Design Guidelines | Structured Creations |
| • Functional Servicing & Stormwater Management Report | Urbantech Consulting |
| • Environmental Implementation Report | Jennifer Lawrence and Associates Inc. |
| • Photometric Plan | Colm Engineering |
| • Hydrogeological Study | DS Consultants Limited |
| • Geotechnical Report | DS Consultants Limited |
| • Transportation Impact Study | Paradigm Transportation Solutions |
| • Environmental Site Screening Questionnaire | Wellings Planning Consultants Inc. |

1.1 PURPOSE OF THE REPORT

The purpose of this report is to outline the nature of the proposal and to evaluate the development in the context of the policies of the Provincial Policy Statement (2020), the Provincial Growth Plan (2019), the Greenbelt Plan (2017), the Region of Halton Official Plan, the Town of Halton Hills Official Plan and the Glen Williams Secondary Plan (GWSP).

1.2 SITE DESCRIPTION

The subject property is located at 102 Confederation Street and is situated north of Wildwood Road/Main Street on the west side of Confederation Street. The property has approximately 20.0 metres of frontage on Confederation Street and has a total site area of approximately 18.6 hectares. Approximately 4.9 hectares of the property is considered developable with the remainder consisting of valley lands, woodlands, wetlands and buffers. The site has been used for agricultural purposes in the past and has no buildings or structures.

1.3 SURROUNDING USES

Immediately north and northwest are agricultural lands forming part of the Greenbelt Protected Countryside area and low-density residential uses. To the south is a tributary of the Credit River within a broader valley land system and low-density residential uses. Immediately east of the site is Confederation Street, low density residential uses as well as the Natural Heritage System (NHS) and Credit River. Beyond the Credit River is the Glen Williams Public School and several service, recreational, and commercial uses including restaurants, pubs and retail stores. To the west of the site are residential uses and the NHS.

2.0 DEVELOPMENT PROPOSAL

Glen Williams Estates Inc. is proposing to develop the site with single detached dwellings generally consistent with the GWSP. The proposed Draft Plan of Subdivision (**Schedule 2**) consists of 34 lots for single detached dwellings on a “P-loop” local road. The lots have minimum areas of 0.10 hectares and the overall density of development is approximately 6.9 units per hectare (UPH). The Draft Plan also includes blocks for open space buffers, storm drainage and NHS purposes. Access to the development is gained from Confederation Street via Street A.

An Official Plan Amendment is required as the proposed development exceeds the maximum permitted density of 5.0 units per hectare in the GWSP. The developable portion of the property is currently zoned Development (D) and a Zoning By-law Amendment is required to change the zoning to be consistent with the Draft Plan of Subdivision.

Land use statistics of the Draft Plan of Subdivision are as follows:

LAND USE	LOTS/BLOCKS	AREA
Single Detached Residential	1 - 34	3.66 ha
Open Space	35 - 36	0.025
Walkway	37	0.013 ha
Storm Drainage Block	38	0.024 ha
NHS	39	12.71 ha
NHS Buffer	40	1.014 ha
Roads		1.18 ha
Total		18.62 ha

3.0 PLANNING POLICY FRAMEWORK

The Provincial Policy Statement (2020), the Growth Plan for the Greater Golden Horseshoe (2019), the Region of Halton Official Plan (2006 as amended by ROPA 38),

Halton Hills Official Plan (2008), and the Glen Williams Secondary Plan (OPA 113, August 2005) are the policy documents that are applicable to the subject lands.

3.1 PROVINCIAL POLICY STATEMENT (2020)

On February 28, 2020, the Government of Ontario released the Provincial Policy Statement (PPS) 2020, which is part of the government's plan to build healthier, safer and more affordable communities. The PPS 2020 contains new policies across five themes: Increasing Housing Supply and Mix; Protecting the Environment and Public Safety; Reducing Barriers and Costs; Supporting Rural, Northern and Indigenous Communities; and, Supporting Certainty and Economic Growth. The 2020 PPS came into full force and effect on May 1, 2020.

The PPS supports improved land use planning and management to contribute to more effective and efficient land use patterns, thereby enhancing the quality of life for all Ontarians. The PPS contains policies on matters of provincial interest related to land use planning and development. The policies set out in the PPS help to protect resources of provincial interest, public health and safety, and the quality of the natural and built environment.

The key PPS policies applicable to the proposal are detailed below.

Policy 1.1.1 - Sustaining Healthy, Liveable and Safe Communities

Healthy, livable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;*
- e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;*
- h) promoting development and land use patterns that conserve biodiversity.*

Consistency:

The proposed development is consistent with Section 1.1.1 of the PPS by proposing a compact form of development that retains the existing character of the neighbourhood

while adding to the range and mix of residential land uses in the community. The development has been planned to avoid environmental impacts and protect biodiversity by respecting the NHS boundary and buffer. All development is proposed outside of natural hazard areas (i.e., stable top of bank and Regional Storm flood plain) thereby protecting public health and safety. The proposed development promotes cost effective and efficient development patterns by connecting to the existing road network (i.e. Confederation Street) and utilizing existing and planned infrastructure.

Policy 1.1.3 - Settlement Areas

1.1.3.1 *Settlement areas shall be the focus of growth and development.*

1.1.3.2 *Land use patterns within settlement areas shall be based on densities and a mix of land uses which:*

- a) *efficiently use land and resources;*
- b) *are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
- e) *support active transportation.*

Land use patterns within settlement areas shall also be based on a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in Policy 1.1.3.3, where this can be accommodated.

Consistency:

The proposed development conforms to the 'Settlement Areas' policies as it provides appropriate low-density residential growth having modest intensification within the Hamlet of Glen Williams, a defined Settlement Area. Furthermore, the proposed development is compact in form and efficiently utilizes and connects to existing and planned infrastructure and public service facilities. The pedestrian connection to Confederation Street and the proximity to commercial and community services encourages active transportation.

Policy 1.4 - Housing

1.4.3 *Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:*

- c) *directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;*
- d) *promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed.*

Consistency:

The proposed development is consistent with the aforementioned housing policies of the PPS as it proposes appropriate residential growth in an identified Settlement Area in a location where suitable levels of infrastructure and public services are available to support current and projected needs. The proposed development will take place on full municipal services.

Policy 1.5 - Public Spaces, Recreation, Parks, Trails and Open Space

1.5.1 *Healthy, active communities should be promoted by:*

- a) *planning public streets, spaces and facilities to be safe, meet the needs of pedestrians, foster social interaction and facilitate active transportation and community connectivity.*

Consistency:

The proposed development provides pedestrian connections along the north side of the internal road into the development. The sidewalk network will enable convenient connections to Confederation Street and the NHS which, through this process, will be dedicated to the Town.

SECTION 2.0 - WISE USE AND MANAGEMENT OF RESOURCES

Policy 2.1 - Natural Heritage

Policy 2.1 focuses on ensuring that natural features and areas will be protected for the long term. The subject lands are within Eco-Region 6E. The following policies are applicable to the subject development proposal:

2.1.1 *Natural features and areas shall be protected for the long term.*

2.1.2 *The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.*

2.1.3 *Natural heritage systems shall be identified in Ecoregions 6E and 7E, recognizing that natural heritage systems will vary in size and form in settlement areas, rural areas and prime agricultural areas.*

Consistency:

The proposed development protects the NHS through the delineation of NHS blocks consisting of significant woodlands, significant valleylands and regionally significant wetlands to be dedicated to the Town. This delineation amounts to approximately 75% of the subject property. The NHS is further protected through the creation of adjacent naturalized buffer blocks which will improve the extent of the NHS and separate the NHS from the proposed residential development, thereby ensuring the long-term ecological function and biodiversity of the NHS is protected. Areas of disturbance within the NHS,

as a result of unauthorized recreational use, will also be restored thereby enhancing the NHS on the subject property. The Environmental Implementation Report (EIR) has demonstrated no negative impacts to the NHS as a result of the proposed development, as required by PPS Policies 2.1.4 through 2.1.8.

3.2 A PLACE TO GROW: GROWTH PLAN FOR THE GREATER GOLDEN HORSESHOE (2019)

A Place to Grow: The Growth Plan for the Greater Golden Horseshoe (2019) (the “Growth Plan”) came into full force and effect on May 16, 2019. The Growth Plan provides the framework for implementing Ontario’s vision for building stronger, more prosperous communities by better managing growth in the Greater Golden Horseshoe (GGH) region to 2041. The Growth Plan establishes a long-term structure for where and how the GGH will achieve complete communities that are compact, transit supportive, and make effective use of investments in infrastructure and public service facilities. The Growth Plan is structured to increase housing supply, expand economic prosperity and streamline approval processes while protecting important natural heritage features and agricultural lands.

The subject lands are within the Growth Plan Area and are located within a ‘Settlement Area’.

The Growth Plan policies that apply include: Section 1.2.1 - ‘Guiding Principles’; Section 2.2.1 - ‘Managing Growth’; and Section 2.2.9 - ‘Rural Area’.

1.2.1 - Guiding Principles

- *Support the achievement of complete communities that are designed to support healthy and active living and meet people’s needs for daily living throughout an entire lifetime.*
- *Support a range and mix of housing options, including second units and affordable housing, to serve all size, incomes, and ages of households.*
- *Improve the integration of land use planning with planning and investment in infrastructure and public service facilities, including integrated service delivery through community hubs, by all levels of government.*
- *Provide for different approaches to manage growth that recognize the diversity of communities in the GGH.*
- *Protect and enhance natural heritage, hydrologic, and landform systems, features, and functions.*

Conformity:

The proposed development complies with the Guiding Principles of the Growth Plan as it adds to the available range and mix of housing options in a form consistent with applicable local official plan policy.

Complete communities are defined in the Growth Plan as:

“Places such as mixed-use neighbourhoods or other areas within cities, towns and settlement areas that offer and support opportunities for people of all ages and abilities to conveniently access most of the necessities for daily living, including an appropriate mix of jobs, local stores, and services, and a full range of housing, transportation options and public service facilities. Complete communities are age-friendly and may take different shapes and forms appropriate to their contexts.”

The proposed development supports the achievement of complete communities by providing for appropriate residential use that is compatible with the Hamlet context. Additionally, the proposal is designed to protect and enhance the NHS through the delineation of NHS blocks, appropriate buffer blocks and enhancements within the NHS.

2.2.1 - Managing Growth

2. *Forecasted growth to the horizon of this Plan will be allocated based on the following:*
 - a) *the vast majority of growth will be directed to settlement areas that:*
 - i. *have existing or planned municipal water and wastewater systems;*
 - and*
 - ii. *can support the achievement of complete communities.*
 - b) *Growth will be limited in settlement areas that:*
 - i. *are rural settlements;*
 - c) *within settlement areas, growth will be focused in:*
 - i. *strategic growth areas;*
 - ii. *areas with existing or planned public service facilities.*
 - d) *development will be directed to settlement areas, except where the policies of this Plan permit otherwise;*
4. *Applying the policies of this Plan will support the achievement of complete communities that:*
 - a) *feature a diverse mix of land uses, including residential and employment uses, and convenient access to local stores, services, and public service facilities;*
 - b) *Improve social equity and overall quality of life, including human health, for people at all stage of life, and to accommodate the needs of all household sizes and incomes;*
 - c) *provide a diverse range and mix of housing options, including second units and affordable housing, to accommodate people at all stages of life, and to accommodate the needs of all household sizes and incomes;*
 - d) *expand convenient access to:*

- i. *a range of transportation options, including options for the safe, comfortable and convenient use of active transportation;*
 - ii. *public service facilities, co-located and integrated in community hubs;*
 - iii. *an appropriate supply of safe, publicly-accessible open spaces, parks, trails, and other recreational facilities; and*
- e) *provide for a more compact built form and vibrant public realm, including public open spaces;*

Conformity:

The proposed development directs growth to a Settlement Area with existing and planned public service facilities including municipal water and wastewater systems. The overall design of the development will add to the range of housing in the community with convenient access to services and facilities, to support the achievement of a complete community. Further the proposed development includes the provision of public open space and trails with the potential to connect to future municipally-planned trails.

2.2.9 - Rural Areas

1. *Municipalities are encouraged to plan for a variety of cultural and economic opportunities within rural settlements to serve the needs of rural residents and area businesses.*

6. *New multiple lots or units for residential development will be directed to settlement areas, but may be allowed on rural lands in site-specific locations with approved zoning or designation in an official plan that permitted this type of development as of June 16, 2006.*

Conformity:

Although the lands will be fully serviced, the proposed residential development is consistent with a rural settlement area and the proposed development is compatible with the existing community.

3.3 GREENBELT PLAN (2017)

The Greenbelt Plan (2017) for Ontario's Greater Golden Horseshoe, established under Section 3 of the Greenbelt Act, took effect on December 16, 2004, and was amended on July 1, 2017. The subject lands are identified as "Settlement Area Outside the Greenbelt" on Schedule 1 of the Greenbelt Plan. Settlement Areas are defined in the Plan as being comprised to Towns/Villages and Hamlets. The Greenbelt Plan does not generally apply to lands so identified, and the Plan defers to local and Regional plans.

The valley associated with the Credit River that flows through the subject property is identified as an Urban River Valley on Schedule 1 within the Greenbelt Plan. As per Section 3.2.6 of the Plan, lands within the Urban River Valley designation are considered key components of the long-term health of the Natural System. Section 6 of the Greenbelt Plan sets out policies for Urban River Valleys. These policies apply only to lands within

public ownership. Since the valley lands will ultimately be conveyed to a public authority (i.e. Town), consideration has been given to the policies of 3.2.6 and 3.3. Specifically, Section 3.2.6.2 (b) sets out considerations for development in or abutting an urban river valley including:

- establish or increase the extent of vegetation protection zones.
- increase or improve fish habitat in streams.
- include landscaping and habitat restoration.
- avoid or minimize adverse impacts associated with the quality and quantity of urban runoff into the valley system.
- Integrate watershed planning management approaches.

As described elsewhere in this report and detailed in the EIR prepared by Jennifer Lawrence and Associates, the proposed development ensures the continued function of the NHS, includes buffers to the NHS and considers the recommendations of the Glen Williams Secondary Plan Subwatershed Study taking a watershed management approach. The Functional Servicing Report includes recommendations to minimize adverse impact on the quality of runoff into the valley system.

Section 3.3 sets out policies for Parkland, Open Space and Trails.

3.3.2.1. Encourage the development of a system of publicly accessible parkland, open space and trails where people can pursue the types of recreational activities envisaged by this Plan, and to support the connectivity of the Natural Heritage System and the achievement of complete communities in settlement areas across the Greenbelt.

The proposed development includes the provision of open space and access to a connected valley system.

The proposed development is in conformity with the Greenbelt Plan.

3.4 REGION OF HALTON OFFICIAL PLAN

The Region of Halton Official Plan (ROP) provides direction as to how physical development should take place in Halton Region to meet the needs of current and future residents. The ROP outlines a long-term vision for Halton's physical form and community character to achieve an urban structure that will accommodate future growth effectively.

The subject site is designated 'Hamlet' and 'Regional Natural Heritage System' in the ROP. The ROP policies applicable to this proposal include: 'Housing' (Sections 84, and 86); 'Hamlet and Rural Clusters' (Sections 102, 105 and 106); 'Natural Heritage System' (Section 114.1); and 'Transportation' (Section 172).

Housing

84. *The goal for housing is to supply the people of Halton with an adequate mix and variety of housing to satisfy differing physical, social and economic needs.*

86. *It is the policy of the Region to:*

(11) Permit intensification of land use for residential purposes such as infill, redevelopment, and conversion of existing structures provided that the physical character of existing neighbourhoods can be maintained.

Conformity:

The proposed low-density residential infill development represents modest intensification, is compatible with the existing community and surrounding development and maintains the physical character of the existing neighbourhood. Further, it adds to the range of housing options available in the Hamlet.

Hamlets and Rural Clusters

102. *The objectives of Hamlets and Rural Clusters are:*

(1) To provide limited opportunities for rural, non-farm residences in identifiable communities.

(2) To accommodate rural, non-farm uses.

105. *New lots may be created in Hamlets or Rural Clusters provided that they conform to the policies of this Plan and policies in Local Official Plans and, in the case of Hamlets, to an approved Area-Specific Plan. Any development with three or more residential lots or their equivalent will require the preparation of a hydrogeological study in accordance with the Region's Guidelines for Hydrogeological Studies and Best Management Practices for Groundwater Protection and to the satisfaction of the Region and the Ministry of the Environment or its delegate.*

106. *It is the policy of the Region to:*

(2) Apply the following conditions to development within Hamlets:

a) Development shall conform to the approved Area-Specific Plan for the Hamlet, relevant policies of this Plan, and, if the Hamlet is located within the Niagara Escarpment Plan Area, appropriate detailed development criteria for a Minor Urban Centre in the Niagara Escarpment Plan.

Conformity:

The proposed development satisfies the above Regional policies and the intent and purpose of the approved GWSP by providing appropriate growth that ensures the retention and enhancement of the natural, cultural and heritage resources of the Hamlet. A Hydrogeological Study has been included in this submission to address concerns

related to groundwater protection and discharge although the proposed development will take place on full municipal services.

Natural Heritage System (NHS)

114 *The goal of the Natural Heritage System is to increase the certainty that the biological diversity and ecological functions within Halton will be preserved and enhanced for future generations.*

114.1 *The objectives of the Natural Heritage System are:*

- (1) To maintain the most natural Escarpment features, stream valleys, wetlands and related significant natural areas and associated Cultural Heritage Resources.*
- (2) To maintain and enhance the landscape quality and open space character of Escarpment features.*
- (3) To provide a buffer to prominent Escarpment features.*
- (17) To preserve the aesthetic character of natural features.*
- (18) To provide opportunities, where appropriate, for passive outdoor recreational activities.*

Conformity:

The proposed development conforms to the policies of the NHS by protecting the NHS through the delineation of the NHS with appropriate buffers. As previously mentioned, approximately 75% of the subject property is comprised of NHS and will be dedicated to the Town.

Transportation

172. *The objectives of the Region are:*

- 2. To develop a balanced transportation system that:
 - a) reduces dependency on automobile use;*
 - b) includes a safe, convenient, accessible, affordable and efficient public transit system that is competitive with the private automobile; and*
 - c) promotes active transportation.**
- 9.1 To ensure development is designed to support active transportation and public transit.*
- 9.2 To integrate transportation planning, land use planning and investment in infrastructure.*
- 10. To promote land use patterns and densities that foster strong live-work relationships and can be easily and effectively served by public transit and active transportation.*

Conformity:

The proposed development is located within walking distance (700 to 1000 metres) of an existing public elementary school and recreational and commercial uses, thereby promoting active transportation and reducing the dependency on the automobile. The proposed development will connect to the existing pedestrian and road network, thereby ensuring that services and amenities are easily accessible via different forms of transportation.

3.5 TOWN OF HALTON HILLS OFFICIAL PLAN

The Town of Halton Hills Official Plan (HHOP) provides direction for how lands shall be used and how growth shall occur to 2031. Its primary purpose is to provide the framework to appropriately manage growth while maintaining the Town's unique character, civic identity, diversity, rural lifestyle, and heritage.

As shown on Schedule A1 - Land Use Plan to the HHOP, the subject lands are designated 'Hamlet Area' and are subject to the policies of both the HHOP and the GWSP.

A2 - Goals and Strategic Objectives

A2.1 *Natural Heritage and Water Resources*

- e) to protect significant natural heritage and hydrologic features and their associated ecological functions;*
- c) To require that land use planning contributes to the protection, maintenance and enhancement of water and related resources and aquatic ecosystems on an integrated watershed management basis;*
- k) To maintain and enhance significant areas of natural and scientific interest, significant valleylands, escarpment slopes and related landforms, and significant wildlife habitat areas;*

A2.2 *Growth and Settlement*

- c) To permit development within the Hamlets that maintains and enhances hamlet character and scale in accordance with the policies contained within this Plan and approved Secondary Plans;*

A2.4 *Rural Character*

- b) To protect the open and natural character of the existing rural landscape.*

Consistency:

The proposed development satisfies the goals and objectives of the HHOP as it provides a density, dwelling type and lot fabric that maintains the hamlet character and scale, while protecting the character of the rural landscape. The continued function of the NHS within the development is protected through the delineation of NHS blocks and buffers and the recommendations within the Glen Williams Secondary Plan Subwatershed Study were

referenced, and implemented where applicable, during the preparation of the EIR to provide for land use planning on an integrated watershed management basis.

E3 - Hamlet Area

E3.1 Objectives

It is the objective of this designation to:

- a) recognize the Hamlets of Glen Williams and Norval as unique and historic communities that provide a transition between the Georgetown Urban Area and the surrounding agricultural and rural landscape;*
- b) carefully control new residential development in the Hamlets in order to maintain the character and scale of Glen Williams and Norval;*
- c) ensure that all development in the Hamlets is serviced by appropriate sewer and water services that reflect the location of each Hamlet, the amount of planned development in each and its character.*

Consistency:

The proposed development is an appropriately scaled infill development that is compatible with the existing community and surrounding lot fabric, and provides a suitable transition between the Georgetown Urban Area and the rural landscape. The proposed development will be serviced by sewer and water services in accordance with the GWSP.

F1.3 - Subdivision Development Policies

Prior to the consideration of an application for Plan of Subdivision, Council shall be satisfied that:

- a) the approval of the development is not premature and is in the public interest;*
- b) the lands will be appropriately serviced with infrastructure, schools, parkland and open space, community facilities and other amenities;*
- c) The density of the development is appropriate for the area;*
- d) The subdivision, when developed, will be easily integrated with other development in the area;*
- e) The subdivision conforms with the environmental protection and management policies of this Plan; and*
- f) The proposal conforms to Section 51 (24) of the Planning Act, as amended.*

Consistency:

The proposal is not premature as it provides an appropriately scaled infill development that is well integrated with the existing community and will be serviced by Regional piped water and wastewater services. These lands have been identified for development for several years under the GWSP. The proposed development is in the public interest as it

adds to the range of housing options within the Town and Hamlet, while protecting the NHS. The NHS lands will be publicly dedicated through the subdivision process. The subdivision's proposed density of approximately 7 UPH is appropriate for the area and surrounding context by providing for compact development that does not result in the over development of the lands.

F2 - Urban Design

F2.1 Objectives

[...] In order to ensure that the urban areas evolve in a manner that enhances the quality and vibrancy of urban life, it is the desire of Council to create and encourage a high quality of built form. On this basis, it is the intent of this Plan to:

- a) improve the aesthetic quality of the Town's built form, and promote development which is based on good design principles and standards that reflect the goals, objectives and policies of this Plan;*
- b) enhance the unique character of the Town's settlement areas by encouraging high quality design that is complementary and compatible with existing development, the Town's cultural and natural heritage, and which fosters a strong sense of civic identity and pride;*

F2.2.2 Private Realm

F2.2.2.2 Building Design and Siting

- a) The design of new buildings should achieve a complementary design relationship to existing buildings, while accommodating a diversity of architectural styles, building materials and colours, energy conservation techniques and innovative built forms.*

Consistency:

The proposed development will achieve a high quality of design that is complementary to and enhances the character of the existing community. Consideration of the developable area and natural landscape has been made in the design of the proposed development through the inclusion of appropriate setbacks and buffer blocks. An Urban Design Study has been prepared for the proposed development which includes a more detailed analysis of the HHOP and GWSP Urban Design policies.

G2.1 - Amendments to the Plan

Any Amendment shall conform to the overall intent of the Official Plan as set out in the:

- a) community vision, goals and strategic objectives;*
- b) other relevant objectives and policies of this Plan; and,*
- c) 'environment-first' philosophy that is enshrined within this Plan.*

Consistency:

The proposed Official Plan Amendment to increase the maximum permitted density within the Hamlet Residential Area from 5 UPH to 7 UPH conforms to the overall intent of the Official Plan as it provides appropriate infill development at a density and scale that, in our opinion, is complementary to the existing surrounding neighbourhood. The modest proposed increase in density responds to Provincial and Regional directives to make efficient use of land, infrastructure and public service facilities.

In summary, the proposed development conforms to the aforementioned policies of the HHOP for the following reasons:

- The proposed development maintains and enhances the hamlet character and scale while protecting the open and natural character of the community;
- The proposed development adds to the range of housing options within the Town and Hamlet;
- The proposed development will achieve a high-quality design through the subdivision and one that is architecturally complementary to and enhances the character of the existing community;
- The proposal provides an appropriate infill development at a scale and density that is complementary to the existing neighbourhood; and,
- The proposal protects and enhances the NHS through the creation of NHS blocks and appropriate buffers.

3.6 GLEN WILLIAMS SECONDARY PLAN (GWSP)

The site is located within the GWSP area. The GWSP includes detailed policies to guide development within the Hamlet to ensure that its natural, cultural and heritage resources are preserved and enhanced. Its primary goal is to allow for limited growth that contributes to the compact character of the Hamlet, in a cost effective and environmentally protective manner.

Secondary Plan Designation

Schedule H4-1 Glen Williams Land Use Plan designates the property as 'Hamlet Residential Area' and 'Greenlands Categories' with a potential trail identified on the site. Schedule H4-2 Glen Williams Environmental Areas further defines the 'Greenlands Categories' designation on the site as 'Supportive Greenlands' and 'Core Greenlands' and identifies that the site is part of an 'Area of Potentially Higher Recharge'.

Secondary Plan Goal

The stated overall goal of the GWSP is:

“to ensure the retention and enhancement of the natural, cultural and heritage resources of the Hamlet and to guide change so that it contributes to and does not detract from the compact character of the Hamlet, in an environmentally protective and cost effective manner.”

Secondary Plan Objectives

H4.2 - Objectives

The objectives of the Hamlet of Glen Williams Secondary Plan are as follows:

- a) *To provide for a rational boundary definition that:
 - i. *permits limited growth appropriate to the hamlet;*
 - ii. *preserves hamlet scale and character; and,*
 - iii. *protects the natural heritage features.**
- b) *To preserve and build upon the unique heritage character of Glen Williams as a distinct hamlet within the Town of Halton Hills;*
- c) *To preserve a delicate balance between hamlet development and the protection of environmental features and functions such as landforms, vegetation, water and associated features and groundwater recharge;*
- d) *To reinforce the importance of visual and physical access to open space including valley lands, trails, and parks, as an integral part of Glen Williams’ hamlet design pattern;*
- g) *To maintain, enhance and restore the health of the natural environment;*
- h) *To ensure subdivision design that incorporates a wide variety of lot sizes consistent with the hamlet character and the method of water and wastewater servicing;*
- i) *To encourage architectural styles that are consistent with the hamlet character and meet a broad range of housing needs;*
- k) *To provide an environmental framework which serves both the existing and future community, which is formed by linking existing open spaces, natural features, and parks and the developed areas of the Hamlet.*

Conformity:

The proposed subdivision incorporates a variety of lot sizes and lot widths that are consistent with the assortment of existing lots found within the Hamlet, and in proximity to the subject property thereby maintaining the character of Glen Williams. Given that the lots will be on full Regional water and wastewater services, it is appropriate to maximize the density to make efficient use of services while still maintaining the character and scale of the community. Architectural styles within the development will be subject to design guidelines to ensure they are complementary to the existing community. An “environment

first” approach has been taken in the design of the development by first identifying the various environmental features on the site and then establishing appropriate setbacks and buffers to protect their continued functions. The environmental approach taken was very conservative. The residential use was then designed to fit on the remaining unconstrained portion of the property.

The following section assesses the manner in which the proposed Draft Plan of Subdivision addresses the relevant general policies and applicable specific policies.

H4.3.3 - Trail Systems

Conceptual alignments for potential new trails are shown on Schedule H4-1. [...] Where trail development or open space linkages are proposed adjacent to, or within, areas designated Core Greenlands, the EIS requirements of Section H4.9.2.5 (b) of this Plan shall apply. A minimum 10 metre top of bank setback from proposed development shall be required to accommodate future trail alignments. The actual need and implementation of any trail system will be assessed through the development approval process and associated public consultations, and the trails shall be developed to municipal standards.

Conformity:

As per Schedule H4-1, a potential trail alignment has been identified on the subject property. While not explicitly illustrated on the proposed subdivision plan, it will be accommodated within the NHS Buffer Block along the western portion of the subject property. A 3.0-metre-wide walkway is proposed between Lots 16 and 17 to provide access to the NHS and potential trail connection. As per the above policy, the actual need and implementation of any trail system will be reviewed and assessed by the Town through the development approval process.

H4.3.6 - Groundwater Protection

It is the objective of this plan to encourage the protection of ground water resources. Schedule H4-2 identifies areas of higher potential groundwater recharge within the Hamlet. Any development proposal within these areas shall be subject to an Environmental Implementation Report, as specified in the Scoped Subwatershed Plan for Glen Williams that will assess the hydrogeological function of the area, and determine how to maintain the quality and quantity of groundwater.

Conformity:

The subject lands are within an area of higher potential groundwater recharge and therefore an EIR (Jennifer Lawrence and Associates) and Hydrogeological Study (DS Consultants) has been submitted in support of this application. As part of their study, DS installed ten (10) monitoring wells to assess groundwater conditions on the subject property. Groundwater level monitoring at these wells was completed over a period from March 2019 to July 2020. Based on information collected, a water balance study was completed. The study concluded that a reduction in recharge over the site as a result of development may result in a lowering of the water table and reduced groundwater

contribution to the wetland and tributary. To address this, a Low Impact Development (LID) infiltration strategy is included in the Functional Servicing Report (Urbantech). The approach is to direct clean sources of stormwater to these features via swales at the front of the lots. The hydrological study concludes that the estimated amount of infiltration “more than compensates for the deficit created post-development”. The hydrogeological study report further concludes that no effect on the operation of existing nearby domestic wells is expected as a result of the development.

H4.3.7 - Stormwater Management

The GWSP requires submission of an Environmental Implementation Report including a stormwater management study addressing how the quality and quantity of runoff will be managed.

Conformity:

The EIR for this application was prepared by Jennifer Lawrence and Associates, and incorporates the findings of the Functional Servicing and Stormwater Management Report (FSR) completed by Urbantech. The Urbantech report identifies that the majority of drainage from the lands to be developed drains to the existing wetland feature to the south comprising approximately 5% of the total catchment area to the wetland. The report further concludes that the proposed grading of the subject property “ensures that the existing drainage areas to the various outlets are generally maintained” (Urbantech, August 2020 - Section 4.2.1). An overall net decrease in total peak flow discharged from the site is anticipated, however, recommended LID mitigation measures have been included in the FSR to address this anticipated decrease. Quality control will be provided through the infiltration swales and will achieve enhanced level control.

H4.3.8 - Hamlet Boundaries and Buffers

The boundaries of the Hamlet shown on Schedule H4-1 have been determined based upon a limited amount of growth that: maintains Hamlet scale and character; corresponds to available wastewater servicing capacity and identifiable features such as roads, property boundaries, physical features and other logical boundaries.

To further achieve the objective of preserving the hamlet character, a general lot line setback of 20 metres from the hamlet boundary in new development areas should be targeted. However, lesser widths may be approved where it can be shown to the Town of Halton Hills that this objective has been achieved.

Lands within this setback will be allowed to regenerate as private natural areas or be used for public park purposes such as trail systems.

Mechanisms other than a lot line setback of establishing appropriate hamlet buffers, that meet the intent of the policy will be considered by the Town, through the development application review process.

Conformity:

The proposed development will provide an enhanced tree edge and buffer adjacent to the Hamlet Boundary. While a 20.0 metre lot line setback has not been provided on the draft plan, the enhanced tree edge maintains the objective of the Hamlet Buffer which is to preserve the hamlet character and create a distinctive boundary line. It is noted that the north boundary of the Hamlet already has a distinctive boundary by virtue of the Greenbelt Natural Heritage System. The Greenbelt Plan currently provides a significant “Hamlet Buffer”. As per the policy, we anticipate further discussion with Town staff and the Glen Williams Community Association (GWCA) on how this objective can be achieved through the development review process.

H4.3.10 - Archaeological Resources

The GWSP requires the completion of an archaeological assessment prior to any development.

The archaeological assessment (Stage 1 and 2) is currently in progress and will be filed at a later date.

H4.3.1 - Hamlet Design and Heritage Protection

The policy is intended to protect and enhance community features and guide new development through the implementation of Hamlet Design and Heritage Protection Guidelines which are included as an Appendix to the GWSP. The Guidelines are to be applied as appropriate to all planning applications in the Hamlet during the planning approval process.

Conformity:

Detailed Urban and Architectural Design Guidelines have been prepared for this application by NAK Design Strategies (June, 2020) and Structured Creations (April, 2020). The Guidelines address and provide greater detail with respect to the matters to be addressed during development review and specifics related to those matters.

As noted in the Hamlet Design and Heritage Protection Guidelines, “the overall architectural character of Glen Williams is a variety of buildings forms and styles, representative of Glen Williams’ organic pattern of growth over the last century.” The Urban Design Study prepared by NAK describes the urban design vision for the proposed development, including a street system and lot layout that responds to the site’s topography and natural features and built form that includes special design considerations for prominent lots at corners and those facing open space. The architectural guidelines seek to ensure an architectural style that incorporates modern interpretations of the area’s historical vernacular reflected in rooflines, materials and detailing. In summary, the urban and architectural guidelines prepared in support of this proposal seek to ensure that the goals and objectives of the GWSP with respect to preservation of the Hamlet character are met.

H4.3.12 - Traffic

The Secondary Plan identified that the level of growth projected by the Plan was not expected to create demands for new road improvements; however, it does require a traffic study to confirm the adequacy of the existing road system to support new development.

Conformity:

The Traffic Impact Study prepared by Paradigm Transportation Solutions Limited (August 2020) concluded that the proposed development will have minimal impact on area intersections in the future and no boundary road improvements are required to support the proposed development.

H4.5 - Hamlet Residential Area

H4.5.1 Purpose

The Hamlet Residential Area designation recognizes existing residential areas and lands that, subject to the fulfilment of the policies of this Plan, may be suitable for new residential development. The objective of the Hamlet Residential Area designation is to allow for gradual and limited growth over time in a manner that is consistent with the character of the Hamlet using innovative subdivision design and architectural techniques.

Applications for new development within the Hamlet of Glen Williams will require a variety of lot sizes, setbacks and architectural styles, within the parameters of this Plan, the Hamlet Design and Heritage Protection Guidelines and the implementing zoning by-law.

H4.5.2 - Permitted Uses

The uses permitted within the Hamlet Residential Area designation shall be limited to:

- a) *Single detached residential uses.*

H4.5.3 - Land Use Policies

Development within the Hamlet Residential Area designation shall be consistent with the following land use policies:

- a) *All new development shall be serviced with piped Regional water and wastewater services in accordance with Section H4.3.5 of the Plan;*
- b) *Lot creation shall occur by way of plan of subdivision for any development proposal if more than four lots, including the retained lands are being created and/or the owner is retaining sufficient lands for the development of additional lots;*
- d) *The minimum lot size for residential development on Regional water and wastewater services will be 0.10 hectares (0.25 acres)*
 - i. *Plans of subdivision that are developed on Regional water and wastewater services shall be required to provide for a range of lot sizes, consistent with the existing hamlet character, generally ranging in size*

from 0.10 hectares (0.25 acres) to 0.4 hectares (1.0 acre). The pattern of lot sizes will generally provide a transition from smaller to larger lots with distance from the core of the Hamlet; and,

- ii. The maximum permitted density of any plan of subdivision developed on Regional water and wastewater services shall be 5 units per net residential hectare (2 units/net acre) and must not exceed the available servicing reserve of 2,600 population equivalent at the Georgetown Wastewater Treatment Plant, subject to the policies of Section H4.3.5 of this Secondary Plan*

Conformity:

The proposal is to develop the site with 34 single detached dwellings on fully serviced lots ranging from 0.10 to 0.14 hectares in size. All lots will meet the minimum lot size of 0.10 ha and consist of a variety of configurations. It is intended that a variation of architectural styles will be applied to individual lots. The proposed density of approximately 6.9 UPH for the Draft Plan of Subdivision exceeds the maximum density permissions, however, it satisfies Provincial directives to make efficient use of land, existing infrastructure and public service facilities. The increase in density is minimal and will have no adverse impact or result in compatibility concerns.

H4.9.2 - Core Greenlands

The Core Greenlands designation contains the most important natural features and areas that perform the most critical ecological functions, as described in the Scoped Subwatershed Plan for Glen Williams. No new development shall be permitted within the Core Greenlands designation, with the exception of those uses specified in subsection H4.9.2.2 of this Plan.

H4.9.2.5 - Development Evaluation Criteria

The Town in consultation in the Region of Halton and Credit Valley Conservation shall require as a basis for the evaluation of any proposed development within or adjacent to a Core Greenlands designation or lands identified as within the limit of the Regulatory Flood the submission of:

- a) Appropriate engineering studies conducted by the applicant to the satisfaction of the Town, the Region of Halton, and Credit Valley Conservation, which address:
 - i. The existing environmental and/or physical hazards which affect the site;*
 - ii. The potential impact of such hazards;*
 - iii. The potential impact of the proposed works on the lands and features in the Greenlands designations, particularly the natural quality and quantity of ground and surface water functions and resources; and,*
 - iv. Techniques and management practices so that the identified impacts may be mitigated;**
- b) An Environmental Impact Study prepared to the satisfaction of the Town and the Region of Halton in consultation with Credit Valley Conservation, which provides*

an inventory and analysis of all natural features and ecological functions on the site including vegetation, wildlife habitat, fish habitat, wetlands, steep slopes and ground water discharge areas, which are essential for maintaining natural fluvial processes. As part of an Environmental Impact Study, the identification in the field of the exact boundary of all Greenlands and other natural areas shall be required; and,

- c) *A detailed site plan, landscaping and grading plans prepared to the satisfaction of the Town which demonstrate:
 - i. *How natural ecological, valleyland and erosional systems and processes will be maintained including tree compensation where necessary; and,*
 - ii. *How disruption to existing landforms and landscape features will be minimized.**

H4.9.3 - Supportive Greenlands

The Supportive Greenlands designation contains functions and linkages that support the ecological function of the features in the Core Greenlands designation. These areas would benefit from rehabilitation or restoration efforts to enhance their ecological value.

Any proposal for development within the Supportive Greenlands designation must be accompanied by an Environmental Implementation Report that can demonstrate the ecological function of the area can be maintained, and environmental impacts can be appropriately mitigated. Upon evaluation, these areas may meet the criteria for designation as Core Greenlands, and shall be placed in that designation by amendment to this Plan.

Conformity:

The proposal does not include development in designated Core Greenlands or Supportive Greenlands and proposes the creation of appropriate buffer and open space blocks to protect the continued function of the Core Greenlands (NHS), thereby achieving the objectives of the Core Greenlands designation. In fact, the proposal provides added protection to the NHS by removing lands from the Hamlet Residential Area designation and re-designating these lands as part of the NHS.

Further, an EIR and other relevant plans and studies have been completed to ensure that the continued function of the Core and Supportive Greenlands designation is maintained. Section 7 of the EIR addresses short- and long-term impacts of development and mitigation measures intended to avoid and/or minimize the impact of the development on the natural heritage features and their function. The study concludes that key natural heritage features will be protected with appropriate buffers and that the loss of vegetation will be minor. A restoration plan to include planting of native species within the buffers and enhancement areas will compensate for any tableland vegetation lost. Further recommended mitigation measures include fencing along property lines to prevent encroachment into the NHS, and incorporating tree protection, sediment and erosion control measures during construction. With these mitigation measures the EIR concludes that there will be no negative impacts to the natural heritage features and function.

H4.9.4 - Greenlands Setbacks

Although not considered to be part of either Greenlands designation, a general lot line setback of 5 metres from the stable top or staked top of bank (whichever is greater) or staked bottom of the bank of valley features shall be required for all development unless a subwatershed study, Environmental Impact Study or geotechnical study, undertaken to the satisfaction of Credit Valley Conservation, recommends more appropriate setbacks based on the natural features and functions of the area.

Conformity:

A minimum 10.0 metre setback to the top-of-bank and a minimum 30.0 metre setback to the wetland has been provided in accordance with the recommendations of Credit Valley Conservation.

Appendix X6 - Hamlet Design and Heritage Protection Guidelines

Secondary Plan Policy 3.11 states that the Hamlet Design Guidelines are intended to be applied to planning applications within the Hamlet of Glen Williams to assist the Town and community to guide new development. Policy 6.3(b)(iii) requires a design study to be prepared in conjunction with a Draft Plan of Subdivision. The design study should address the following matters:

- i. Lot design, including conceptual building placements, typical streetscapes, open spaces and roads;
- ii. Pedestrian and cycling connections to the Hamlet core and open space areas, by roads, walkways, trails or other pathways, including implementation of potential trails as shown on Schedule A;
- iii. The sensitive use of topography and vegetation, and the extent of new landscaping;
- iv. Location of public amenities, such as parkettes, terraces and postal kiosks; and,
- v. Typical housing types illustrating architectural style, setbacks and heights.

Conformity:

The above-noted matters are fully addressed in the Urban Design Guidelines (NAK June 2020) and the Architectural Design Guidelines (Structured Creations April 2020).

X6.1 - Street Type and Pattern

- *Consider the use of rural road or rolled curb sections to promote the rural character of the hamlet.*

A rural road cross section is proposed for the streets within the subdivision plan to promote a more rural character to the development. Such consideration must be to the satisfaction of the Town.

- *Consider modifying road engineering and lot grading standards, without comprising safety standards, where new streets encounter topographical features,*

woodlots, single trees and other natural features, to preserve the natural character of streets.

The proposed P-loop road design is in response to significant natural features and the topography of the site. The proposed P-loop road provides an efficient design and will contribute to preserving the varied character of the hamlet's street systems. The subdivision design will meet the Town's Engineering Standards.

- *Utilize a range of street/block types including irregular blocks, short orthogonal blocks, winding streets and rural cul-de-sacs to preserve the varied character of the hamlet street system.*

The proposed P-loop road creates a winding street with terminating views and some irregular lots, consistent with the irregular blocks and rural street types in Glen Williams.

X6.2 - Lot Configuration

- *Vary lot frontages and depths within each streetscape to maintain the hamlet's random lot pattern. Allow adjacent lots to vary in lot configuration.*

The proposed plan provides for a variety of lot frontages from approximately 8.5 metres to 30 metres. A variety of lot depths and configurations are also reflected on the plan, consistent with this guideline. Variation will also be achieved through architectural styles.

- *Ensure that lot sizes allow for the safe and effective installation/connection of sanitary services (private, communal or municipal) per regulatory requirements.*
The proposed lots are to be serviced with municipal piped water and sanitary services consistent with Regional and Town engineering standards.
- *Avoid streetscapes with uniform lot frontages. Permit adjacent lot frontages to vary up to 50%. It is recommended that no more than four consecutive lots shall have the same frontage. Beyond a maximum of four lots, allow adjacent lot frontages to vary by 50%.*

Lot frontages are varied. Due to the subdivision layout, the lot frontages on a short section of road on the north side of the plan are the same. It is expected that variations in building architecture in this limited area can minimize any visual impact of the more uniform lot frontages in this location.

4.0 DRAFT OFFICIAL PLAN AMENDMENT

To permit the proposed Plan of Subdivision consisting of 34 single detached residential dwellings at a density of approximately 7 UPH, it is proposed that the GWSP be amended as follows:

Notwithstanding Section H4.5.3. d). ii), a Plan of Subdivision consisting of 34 single detached dwellings at a density of 7 UPH shall be permitted on the lands legally described as Part of Lot 21, Concession 9, former Township of Esquesing.

The draft Official Plan Amendment is appended as **Schedule 3** to the report.

5.0 DRAFT ZONING BY-LAW AMENDMENT

Existing Zoning

The subject lands are currently zoned Development (D), Environmental Protection One (EP1) and Environmental Protection Two (EP2) in the Town of Halton Hills Comprehensive Zoning By-law 2010-0050. Section 12.2 of Zoning By-law 2010-0050 states that only uses legally existing on the date the By-law came into effect are permitted on lands zoned D. The development of new buildings and structures are not permitted. As such, a Zoning By-law Amendment is required to permit the proposed development and implement the GWSP.

Proposed Zoning

The proposal seeks to rezone the portion of the subject lands zoned D to a site-specific Hamlet Residential One (HR1-XX) Zone and Environmental Protection One (EP1) Zone to permit the proposed development.

The draft Amending Zoning By-law is appended as **Schedule 4** to this report.

6.0 SUMMARY AND CONCLUSIONS

The proposed amendments to the Official Plan and Zoning By-law and Draft Plan of Subdivision are justified and appropriate for the following reasons:

- The proposal is consistent with the Provincial Policy Statement (2020) and conforms to the Growth Plan for the Greater Golden Horseshoe (2019), the Greenbelt Plan (2017), Region of Halton Official Plan and the Halton Hills Official Plan.
- The proposed development provides appropriate and compatible residential growth that contributes to the Province's goal to provide a range and mix of housing options.
- The proposal conforms to the policies of the Halton Hills Official Plan and GWSP save and except the density provisions, which sets out a maximum density of 5 UPH for residential subdivisions.
- The proposed density of development is compatible with the adjacent residential development.
- The impact of the increased density will be minimal. The subdivision is compact with a single access to an isolated pocket of development and is not visible from Confederation Street. The subdivision represents a reduction in the amount of land designated Hamlet Residential Area as a result of an increase in area attributed to the NHS.

- The proposed amendment to the Glen Williams Secondary Plan to increase the density to approximately 6.9 UPH is consistent with Provincial directives to make efficient use of land, existing infrastructure and public service facilities.
- The proposed development achieves the objectives of the Hamlet Residential Area by providing 34 single detached residential lots on fully serviced lots ranging from 0.10 hectares to 0.14 hectares in size.
- The proposed development is within walking distance to nearby schools, and recreational and commercial uses, thereby promoting active transportation.
- The NHS is protected and enhanced by providing blocks designated and zoned to prohibit development within the natural heritage features and related buffers. The NHS lands consisting of approximately 75% of the subject property will be dedicated to the Town.
- The various technical reports and studies prepared in support of the proposed development conclude that there are no technical issues.

Based upon the background technical reports and studies provided in support of the applications, it is my opinion that the proposed development is appropriate and represents good planning.

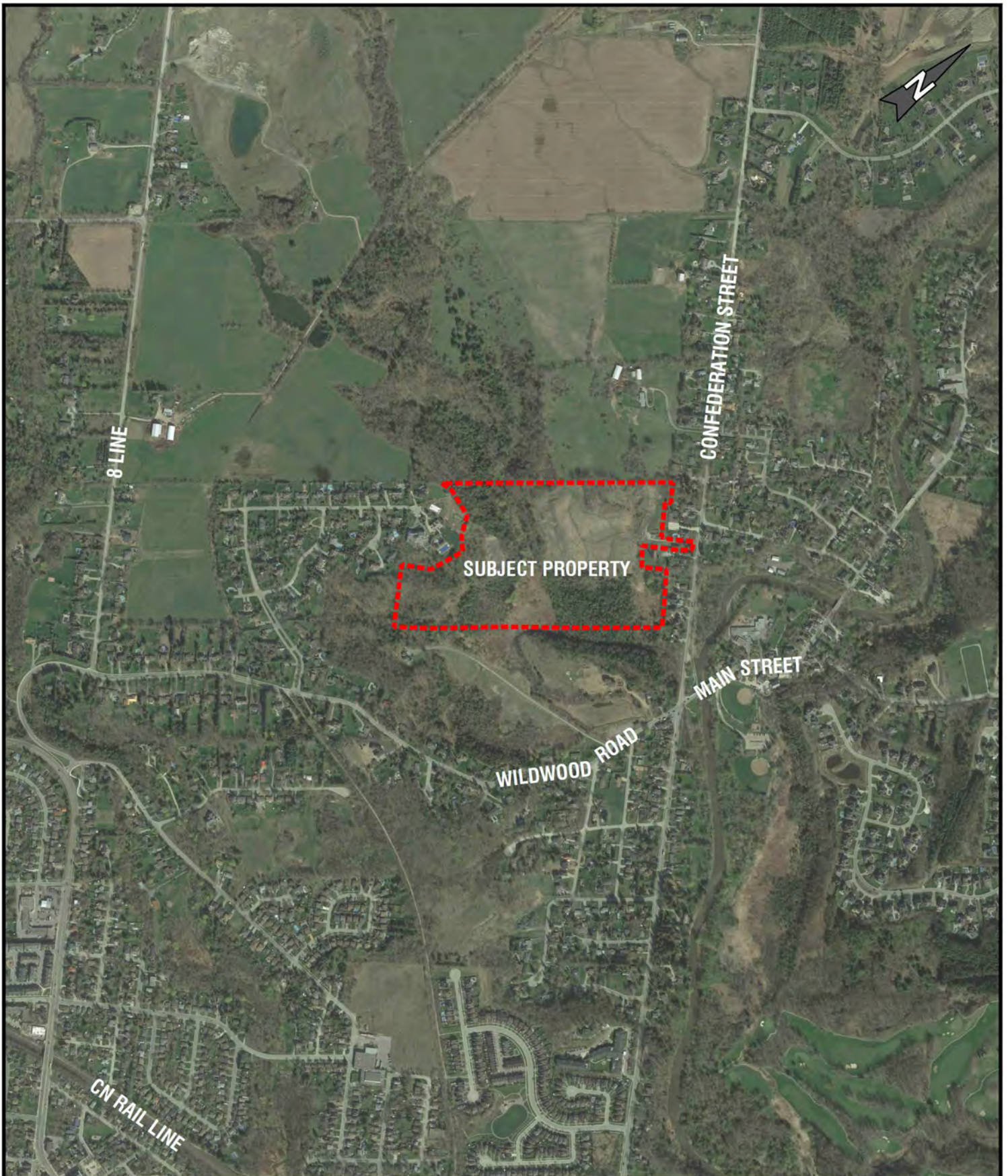
The attached Draft OPA and ZBA (**see Schedules 3 and 4**) prepared in support of the proposed development are appropriate and represent good planning. A Public Consultation Strategy is also provided under a separate cover and includes a detailed outline of how Glen Williams Estates Inc. will actively consult nearby residents and the public. Previous meetings have been held with the GWCA prior to the submission.

Respectfully submitted,
WELLINGS PLANNING CONSULTANTS INC.



Glenn J. Wellings, MCIP, RPP





PROJECT: Glen Williams Estates Inc. Hamlet of Glen Williams	PROJECT No: 2009/17	<i>Wellings Planning Consultants Inc.</i> 513 Locust Street, Unit B - Burlington, Ontario t - 905-681-1769 e - Glenn@WellingsPlanning.ca
	DATE: August 2020	
102 Confederation Street	SCALE: 1:11000	<h1>Schedule 1</h1>

SCHEDULE 2

DRAFT PLAN OF SUBDIVISION

102 CONFEDERATION STREET,
HAMLET OF GLEN WILLIAMS

PART OF LOT 21, CONCESSION 9
GEOGRAPHIC TOWNSHIP OF ESQUESING
TOWN OF HALTON HILLS
REGIONAL MUNICIPALITY OF HALTON



OWNER'S AUTHORIZATION

I HEREBY AUTHORIZE WELLINGS PLANNING CONSULTANTS INC. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE TOWN OF HALTON HILLS FOR APPROVAL.

SIGNED _____ DATE _____
Glen Williams Estates Inc.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE CORRECTLY AND ACCURATELY SHOWN.

SIGNED _____ DATE _____
James M. Laws, Ontario Land Surveyor

Van Harten Surveying Inc.
423 Woodloch Street,
Guelph ON N1H 3X3
Tel: (519) 821-2763 Fax: (519) 821-2770

ADDITIONAL INFORMATION (UNDER SECTION 51 (17) OF THE PLANNING ACT)

- | | |
|------------------|---|
| A) SHOWN ON PLAN | G) SHOWN ON PLAN |
| B) SHOWN ON PLAN | H) MUNICIPAL AND PIPED WATER TO BE PROVIDED |
| C) SHOWN ON PLAN | I) CLAY LOAM |
| D) SHOWN ON PLAN | J) SHOWN ON PLAN |
| E) SHOWN ON PLAN | K) SANITARY AND STORM SEWERS TO BE PROVIDED |
| F) SHOWN ON PLAN | L) SHOWN ON PLAN |

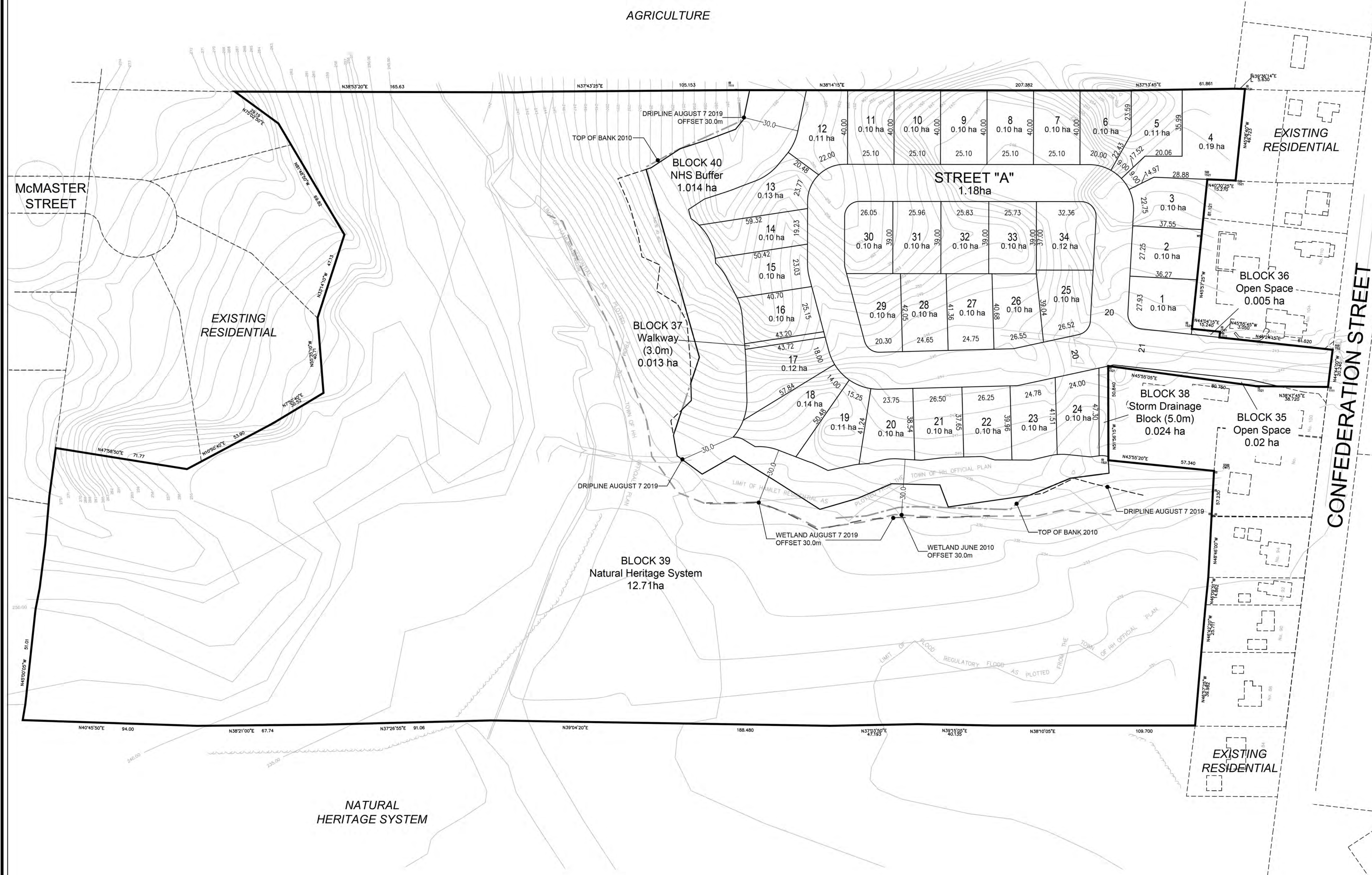
LAND USE SCHEDULE

Land Use	Lots/Blocks	Block Total	Area (ha)	Units
Single Detached	1-34	34	3.66	34
Open Space	35-36	2	0.025	
Walkway	37	1	0.013	
Storm Drainage Block	38	1	0.024	
Natural Heritage System (NHS)	39	1	12.71	
NHS Buffer (10m-30m)	40	1	1.014	
20m ROW (475m)			0.94	
21m ROW (112m)			0.24	
Totals	40	40	18.63	34

SCALE 1:1000 August 11, 2020

DRAWN BY: BC CHECKED BY: GW

513 Locust Street,
Unit B - Burlington,
Ontario, L7S 1V3
t - 905-681-1769
e - glenn@wellingsplanning.ca



NATURAL HERITAGE SYSTEM

AGRICULTURE

EXISTING RESIDENTIAL

McMASTER STREET

EXISTING RESIDENTIAL

CONFEDERATION STREET

EXISTING RESIDENTIAL

**AMENDMENT NO. XX
TO THE OFFICIAL PLAN
FOR THE TOWN OF HALTON HILLS**

DRAFT

THE CORPORATION OF THE TOWN OF HALTON HILLS

BY-LAW NO.2020-XXXX

A By-law to adopt Amendment No. XX to the Official Plan
of the Town of Halton Hills

WHEREAS the Council of the Town of Halton Hills, in accordance with the provisions of the Planning Act, 1990, R.S.O., c.P.13, as amended, hereby enacts as follows:

1. That Amendment No. XX to the Official Plan of the Town of Halton Hills, being the attached text and schedules, is hereby adopted.

BY-LAW read and passed by the Council of the Town of Halton Hills this ____ day of _____, 2020.

MAYOR-R. Bonnette

CLERK- S. Jones

**AMENDMENT NO.XXX TO THE OFFICIAL PLAN
OF THE TOWN OF HALTON HILLS**

The attached text and schedules constitute Amendment No. XX to the Official Plan of the Town of Halton Hills, which was adopted by the Council of the Town of Halton Hills by By-law 2020-XXXX, in accordance with the provisions of the Planning Act, 1990, R.S.O, c.P.13, as amended:

THE CORPORATION OF THE TOWN OF HALTON HILLS

MAYOR- R. Bonnette

CLERK-S. Jones

DRAFT

AMENDMENT NO. XX
TO THE OFFICIAL PLAN FOR THE TOWN OF HALTON HILLS

PART A – THE PREAMBLE does not constitute part of this Amendment.

PART B – THE AMENDMENT, consisting of the following text and schedules, constitutes Amendment No. XX to the Official Plan of the Town of Halton Hills.

DRAFT

PART A – The Preamble

1. Purpose of the Amendment

The purpose of this Amendment is to add Special Policy Area XX to the lands legally described as Part of Lot 21, Concession 9, Former Township of Esquesing, in the Hamlet of Glen Williams.

2. Location

The lands affected by this amendment are located on the west side of Confederation Street, north of Wildwood Road and Main Street. The municipal address is 102 Confederation Street.

3. Basis of the Amendment

The proposed amendment would permit the development of a Plan of Subdivision consisting of 34 single detached dwellings at a maximum density of 7 units per net hectare.

The proposed amendment is justified and represents good planning for the following reasons:

1. The proposal is consistent with the Provincial Policy Statement (2020) and conforms to the Provincial Growth Plan (2019) and Region of Halton Official Plan.
2. The proposal satisfies the goals, objectives and policies of the Town of Halton Hills Official Plan and Glen Williams Secondary Plan relating to providing appropriate and compatible residential growth consistent with the hamlet character. The development will maintain and enhance the health of the natural environment.
3. The proposal provides residential growth in proximity to a school, and commercial and recreational uses thereby promoting active transportation and adding to the mix of land uses in the community.
4. The proposal provides growth in a location with existing and planned infrastructure and public service facilities.
5. The proposed development protects and enhances the Natural Heritage System (NHS) through the delineation of NHS blocks, and the creation of appropriate open space and buffer blocks.

6. The proposed increase in density maintains the intent and objectives of the Secondary Plan and results in a compatible and appropriate development based on the surrounding land uses; and,
7. The development is justified and supported by various technical studies addressing engineering, environmental, noise and transportation studies.

DRAFT

PART B – THE AMENDMENT

All of this part of the document consisting of the following Schedule and Text constitutes Amendment No. XX of the Official Plan for the Town of Halton Hills.

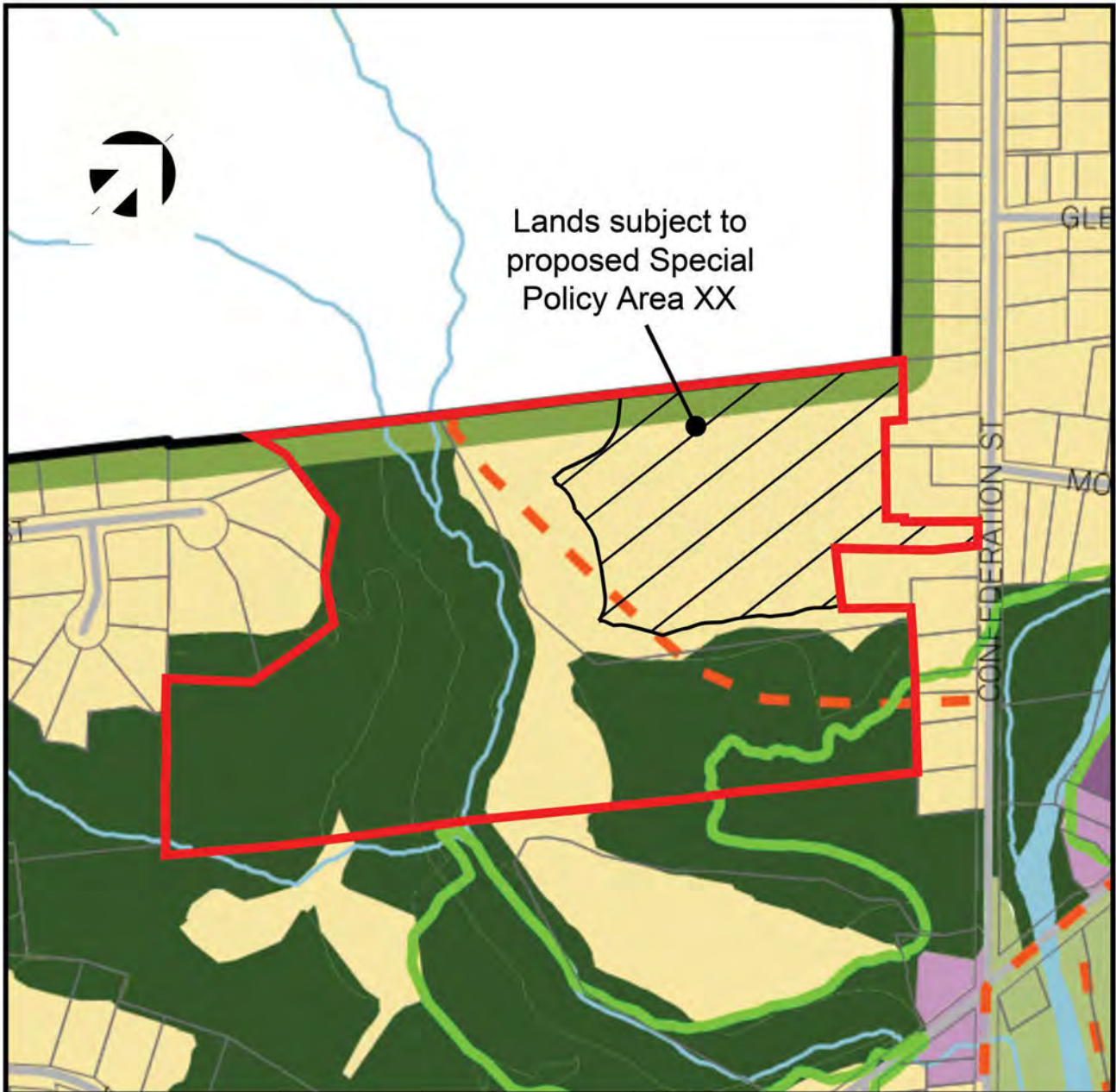
DETAILS OF THE AMENDMENT












The Official Plan for the Town of Halton Hills is amended as follows:

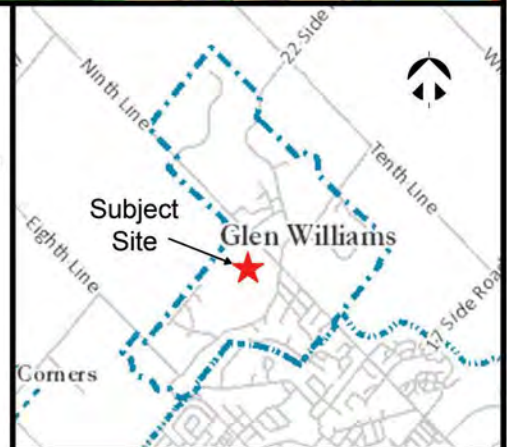
1. That Schedule H4-1 – Glen Williams Land Use Plan for the Town of Halton Hills is hereby amended by adding Special Policy XX and as shown on Schedule '1' to this Amendment, legally described as Part of Lot 21, Concession 9, Esquesing (Glen Williams).
2. That Section H4.5 Hamlet Residential Area of the Official Plan for the Town of Halton Hills is hereby amended by adding a new subsection, which shall read as follows:

“H4.5.4.XX Special Policy Area XX

A residential subdivision consisting of 34 single detached dwellings at a density of maximum of 7 units per net hectare shall be permitted on lands identified as Special Policy Area XX, as shown on Schedule H4-1 of this Plan.



- | | | | |
|---|--|---|-------------------------------------|
|  | Hamlet Residential Area |  | Limit of Regulatory Flood |
|  | Hamlet Community Core Area |  | Existing Trail |
|  | Institutional Area |  | Potential Trail and On-Road Linkage |
|  | Open Space Area |  | Watercourse |
|  | Hamlet Buffer |  | Special Policy Area |
|  | Greenlands Categories (Refer to Schedule H4-2) | | |
|  | Hamlet Boundary | | |
|  | Waterbody | | |



**BY-LAW NO. 2020-XXXX**

Being a By-law to Amend Zoning By-law 2010-0050, as amended, of the Town of Halton Hills, 102 Confederation Street, Part of Lot 21, Concession 9, former Geographic Township of Esquesing, Town of Halton Hills, Regional Municipality of Halton (File Nos. TO BE ASSIGNED).

WHEREAS Council is empowered to enact this By-law by virtue of the provisions of Section 34 of the Planning Act, R.S.O. 1990, as amended;

AND WHEREAS on _____, 2020, Council for the Town of Halton Hills approved Report No. PL 2020-XXXX, dated _____, 2020 in which certain recommendations were made relating to amending Zoning By-law 2010-0050;

AND WHEREAS Council has recommended that Zoning By-law 2010-0050 be amended as hereinafter set out;

AND WHEREAS said recommendation conforms to the Official Plan for the Town of Halton Hills;

NOW, THEREFORE, THE COUNCIL OF THE CORPORATION OF THE TOWN OF HALTON HILLS ENACTS AS FOLLOWS:

1. That Schedule "A19" of Zoning By-law 2010-0050, as amended is hereby further amended by rezoning the lands described as 102 Confederation Street, Part of Lot 21, Concession 9, Town of Halton Hills, Regional Municipality of Halton as shown on Schedule "A" attached to and forming part of this By-law:
From a Development (D) Zone;
To a Hamlet Residential (HR1-XX) Exception Zone and Environmental Protection One (EP1) Zone.
2. That Table 13.1: Exceptions of Zoning By-law 2010-0050 is hereby amended by adding the Exception Provision contained in Schedule "B" attached to and forming part of this By-law.

SCHEDULE "B" to By-law 2020-XXXX

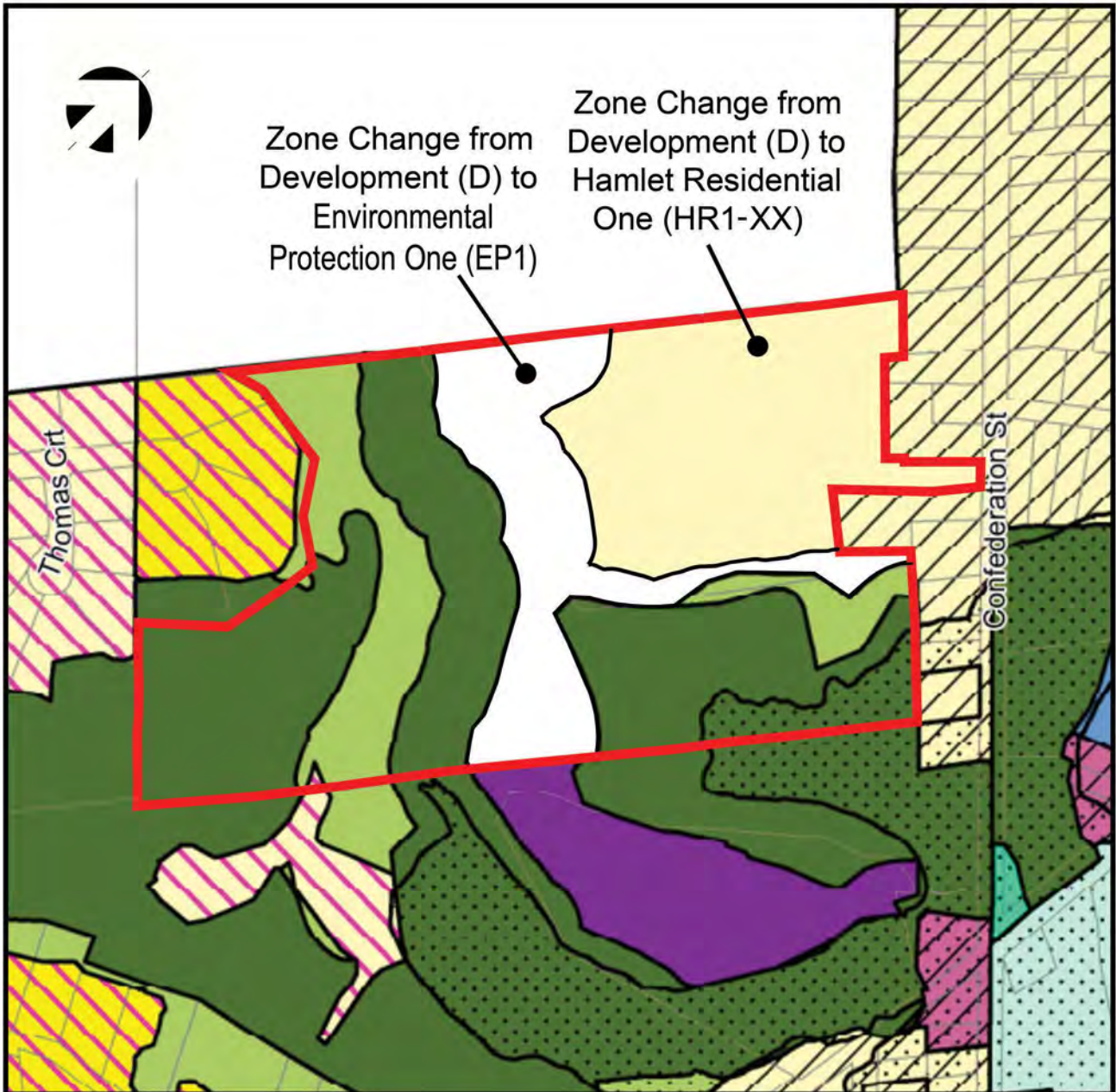
Exceptions

1 Exception Number	2 Zone	3 Municipal Address	4 Additional Permitted Uses	5 Only Permitted Uses	6 Uses Prohibited	7 Special Provisions
XX 2020-XXXX	HR1	102 Confederation Street, Part of Lot 21, Concession 9, Former Geographic Township of Esquesing, Town of Halton Hills				<ul style="list-style-type: none"> i) Minimum lot frontage for Lots 4 to 5 – 9.0 metres ii) Minimum lot frontage for Lots 18 to 19 – 14.0 metres iii) Minimum lot frontage for all other lots – 18.0 metres iv) Minimum lot area – 0.10 ha v) Maximum number of lots – 34 vi) Setbacks <ul style="list-style-type: none"> a. Minimum front yard setback – 4.5 metres except for porches which may have a setback of 3.0 metres b. Minimum required rear yard setback – 10.0 metres vii) Maximum height – 2 storeys and 11.0 metres viii) Main wall means any exterior wall of a building or structure ix) Decks 0.6 m or more above the grade adjacent to the deck <ul style="list-style-type: none"> a. Shall not be permitted above the first floor b. Shall not project more than 3.0 metres from the furthest rear or side main wall relative to the adjacent yard x) Balconies <ul style="list-style-type: none"> a. Shall not project more than 4.0 metres from the furthest rear or side main wall relative to the adjacent yard xi) Garages <ul style="list-style-type: none"> a. The wall of the private garage, the entrance of which faces the lot line the driveway crosses to access the private garage, is to be recessed a minimum of 0.5 m from the face of the house and shall be no closer than 5.5

						<p>metres from the front lot line</p> <p>b. The interior dimensions of the garage fronting the street shall not exceed 50% of the exterior width of the house</p> <p>x) Model Homes</p> <p>Notwithstanding the provisions of Section 4.15 a), a maximum of 5 model homes is permitted.</p>
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SCHEDULE "B" to By-law 2020-XXXX

SCHEDULE 'B' to By-law 2020-_____



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|---|-----------------------------------|---|----------------------------|
|  | Hamlet Residential One, HR1 |  | Hamlet Community Core, HCC |
|  | Hamlet Residential Two, HR2 |  | Open Space One, OS1 |
|  | Mature Neighbourhood (MN1) |  | Open Space Two, OS2 |
|  | Mature Neighbourhood (MN2) |  | Subject Site |
|  | Holding Provision, H5 | | |
|  | Development, D | | |
|  | Environmental Protection One, EP1 | | |
|  | Environmental Protection Two, EP2 | | |

