



# GLEN WILLIAMS MATURE NEIGHBOURHOOD STUDY



## WINTER/SPRING 2018



## SPRING/EARLY SUMMER 2018



## FALL 2018/WINTER 2019



## Contact

Please visit the Town's website for more information:

<https://www.haltonhills.ca/GlenWilliamsNeighbourhoodStudy/index.php>

**Anne Fisher**  
Heritage Planner  
afisher@haltonhills.ca

**Steve Burke**  
Manager of Planning Policy  
stevebu@haltonhills.ca

**Rasha Haider**  
Planner  
rhaider@mhbcplan.com

**Dana Anderson**  
Partner  
danderson@mhbcplan.com

## Study Objectives

- Define and establish boundaries for Glen Williams Mature Neighbourhood Study;
- Identify and evaluate the unique qualities, characteristics and key issues regarding large-scale residential rebuilds that are of concern to the residents of Glen Williams;
- Develop options to maintain and enhance the distinct character of the Glen Williams Mature Neighbourhoods;
- Identify existing and potential threats to the heritage resources within the hamlet from large-scale residential rebuilds and assess the impact this would have on the character and appearance of the hamlet;
- Develop and propose amendments to the Town's comprehensive Zoning By-law, as necessary, that define and manage large scale residential rebuilds in hamlet's mature neighbourhoods;

# LOT COVERAGE

= % of lot covered by buildings including garages

What lot coverage is best in Glen Williams?

## ZONING BY-LAW

- Lot coverage on HR1 lots in the Glen is generally 10-20%.
- No current provisions relating to lot coverage.

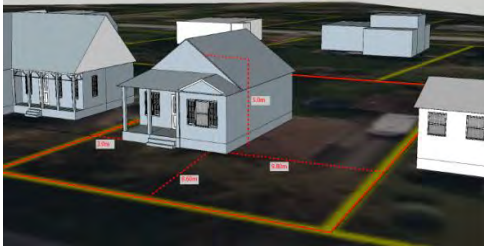
## WHAT WE HEARD

- Some interest in restricting lot coverage in restricting lot coverage to 10-30%

## DRAFT OPTIONS

1. Maintain no lot coverage provision (existing results in varying lot coverages)
2. Introduce lot coverage control (10%, 20%, 30%)

10%



20%



30%



10%



20%



30%



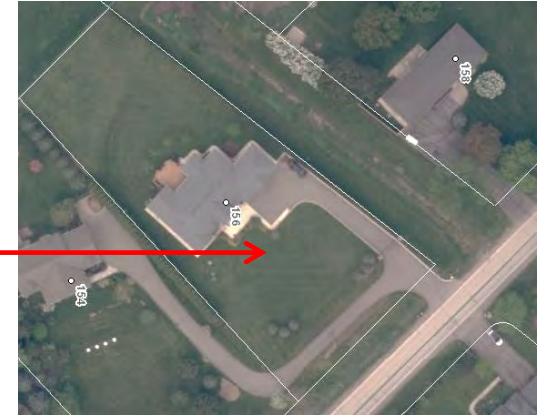
## COMMENTS

# LOT COVERAGE EXAMPLES



Approx. 10%

156 Confederation Street



Approx. 20%

Tweedle Street



Approx. 41%

11 Beaver Street



# GARAGES

Where should they be located?

## ZONING BY-LAW

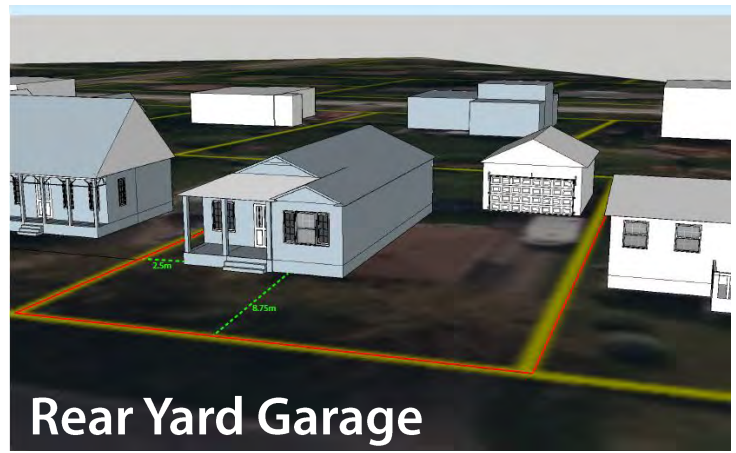
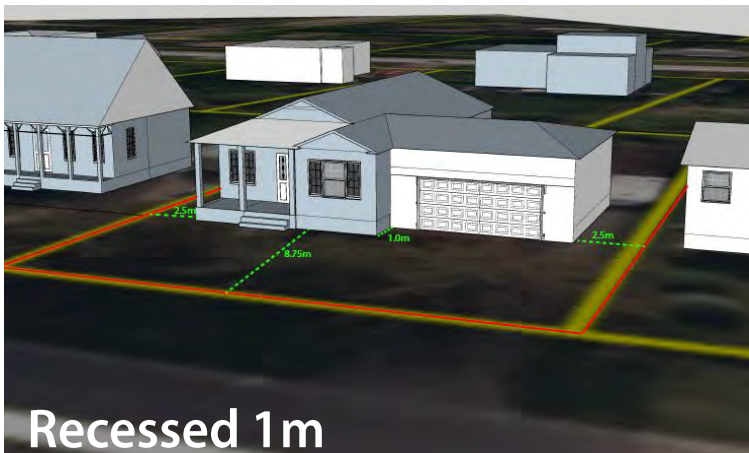
There are currently no regulations in place to control the position of a garage.

## WHAT WE HEARD

- Attached vs. detached garages – little concern
- Garages should be located beside or behind the house.
- Some thought that garages should not project in front of the main front wall of the house.

## DRAFT OPTIONS

1. No change
2. Exempt rear yard garages from lot coverage calculations ( to encourage rear yard garages as it gives more space between houses)
3. Require garages to be recessed by at least 1m from the front of the house



## COMMENTS

# GARAGE EXAMPLES

## Projecting in front of house



8 Glen Crescent Drive



11 Mountain Street

## Set back from front of house



11 Karen Place



43 Wildwood Road



Barraclough Boulevard

# FRONT & REAR YARD SETBACK

What setbacks are best in Glen Williams?

## ZONING BY-LAW

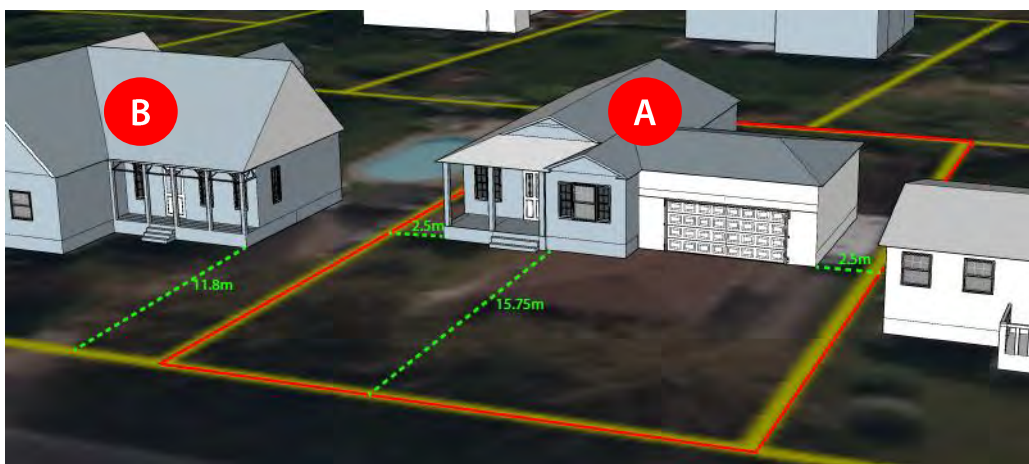
HR1& HCC Zone	
Min. required front yard	4.5 m
Min. required rear yard	7.5 m
HR2 Zone	
Min. required front yard	7.5 m
Min. required rear yard	7.5 m

## WHAT WE HEARD

- Existing setbacks are sufficient.
- Variation in setbacks within the Glen is valued
- Rear yard setbacks are very important to maintain rear yard space

## DRAFT OPTIONS

1. No change
2. Prevent front wall of a house from being set further back than half the length of the adjacent house to maintain privacy of rear yards



Front yard setback of House A = half the length of House B

## COMMENTS

# SIDE YARD SETBACK

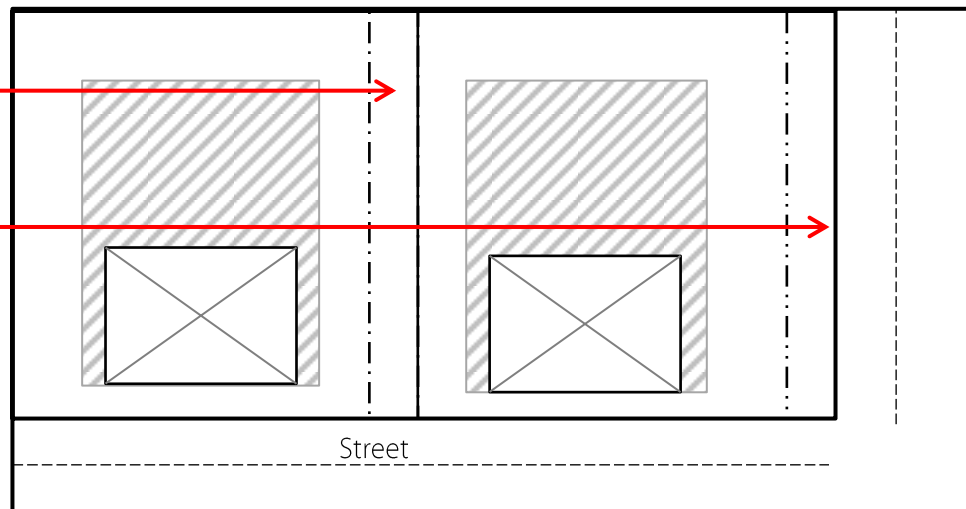
What setbacks are best in Glen Williams?

## ZONING BY-LAW

HR1& HCC Zone	
Min. required interior side yard	2.25 m
Min. required exterior side yard	4.5 m
HR2 Zone	
Min. required interior side yard	4.5 m
Min. required exterior side yard	7.5 m

Required interior side yard setback

Required exterior side yard setback



## WHAT WE HEARD

- Interior side yard setbacks should be greater than 2.25m
- Side yard setbacks should be proportional to the lot size and building height

## DRAFT OPTIONS

1. Maintain existing (no change)
2. Additional side yard setback with increased height (see height panels)

## COMMENTS

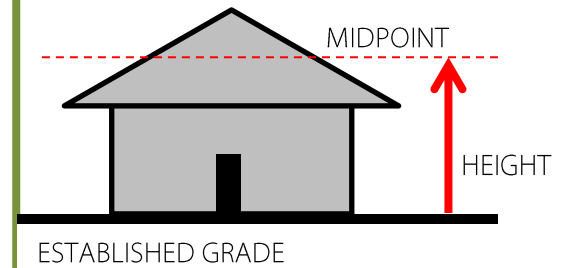
# HEIGHT

How tall should houses be in Glen Williams?

## ZONING BY-LAW

Distance measured from established grade to the highest point of the roof of a flat roof or the midpoint of the roof of a pitched roof.

The maximum height for all homes in the Glen is 11m.



## WHAT WE HEARD

- Max height of 11m is too high
- Max height of approx. 9m is more appropriate
- Height should depend on the size of the lot and its location
- Height should be compatible with that of the adjacent buildings

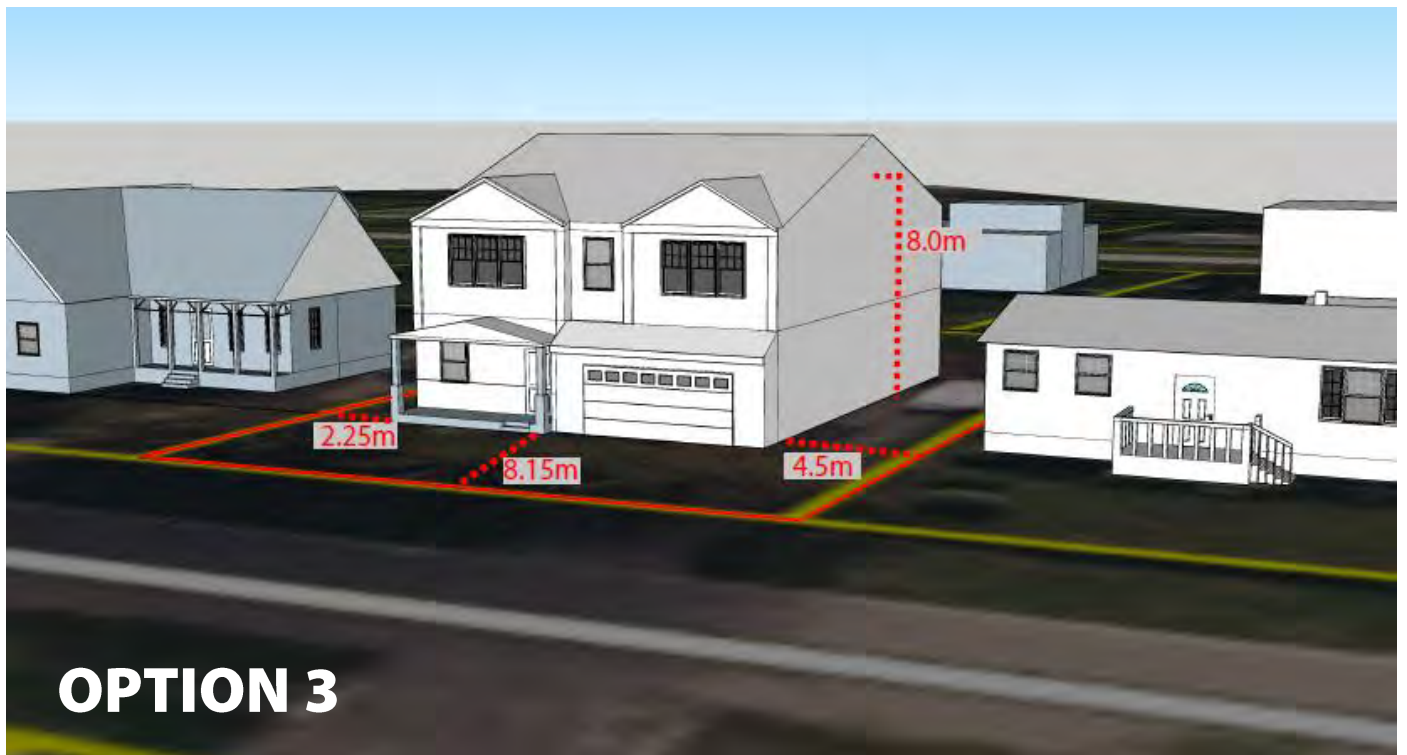
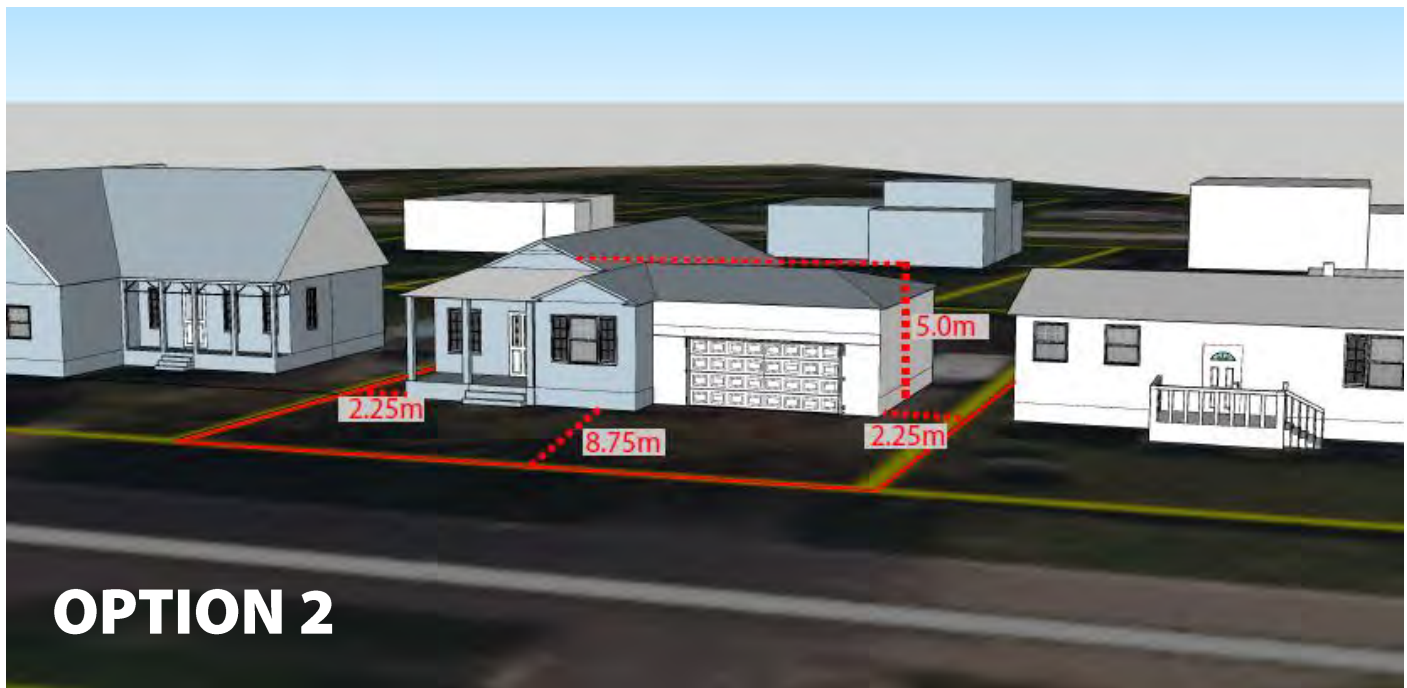
## DRAFT OPTIONS

1. Decreasing max building height from 11m to 9m or 10m
2. Houses under 6m – minimum side yard setback = 2.25m on both sides
3. Houses 6-8m – minimum side yard setback = 2.25m on one side & 4.5m on the other
4. Houses over 8m – minimum side yard setback = 4.5m on both sides

## COMMENTS



# HEIGHT OPTIONS



# HEIGHT EXAMPLES

**\* Height is measured to the mid-point of the roof \***

Height = approx. 6m

Height = approx. 6m



Distance between houses = approx. 2m

Height = approx. 9m

Height = approx. 9m



Distance between houses = approx. 1.8m

Height = approx. 10m

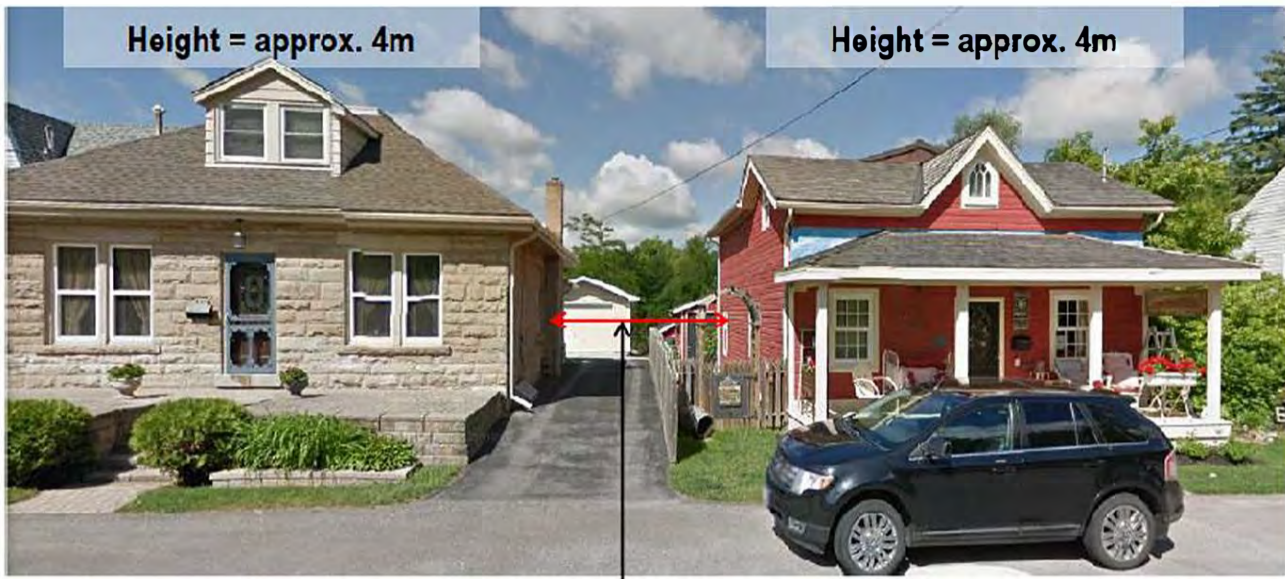
Height = approx. 10m



Distance between houses = approx. 3m

# HEIGHT EXAMPLES

**\* Height is measured to the mid-point of the roof \***



Height = approx. 4m

Height = approx. 4m

Distance between houses = approx. 5.3m

530 Main Street

532 Main Street



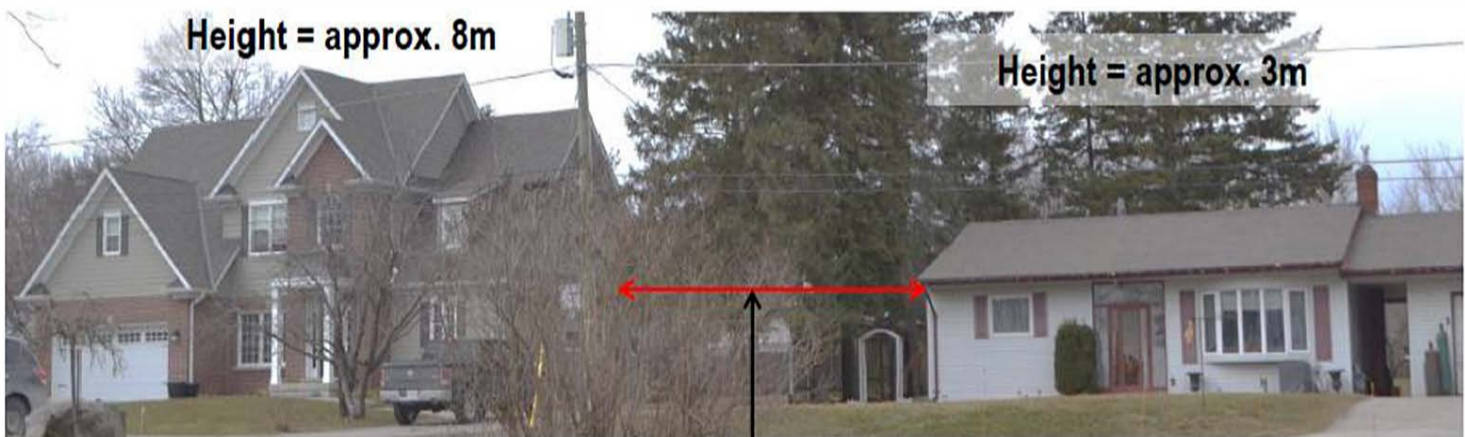
Height = approx. 5m

Height = approx. 8m

Distance between houses = approx. 5.3m

14 Tweedle Street

16 Tweedle Street



Height = approx. 8m

Height = approx. 3m

Distance between houses = approx. 14m

8 Glen Crescent Drive

10 Glen Crescent Drive

# OTHER CONTROLS



## SOFT LANDSCAPED AREA & DRIVEWAY

Little interest in controlling soft landscaped areas & driveways beyond the existing regulations.



## BUILDING DEPTH

Indifferent to depth controls & felt it would be difficult to control due to different lot sizes.



## FLOOR SPACE INDEX (FSI)

Low interest in FSI controls & felt that the combination of other changes would best control scale.



## TREE PROTECTION

Considerable interest in tree protection however:

- this cannot be regulated through zoning;
- it is difficult to implement; and
- can result in liability issues

1. Should the Town study this issue further?
2. Should the Town review tree replacement and incentive programs instead of tree removal restrictions?



## HERITAGE CONSERVATION DISTRICT (HCD)

Considerable interest in better understanding a HCD and what benefits it may provide. A HCD would include a way to guide architectural design including roof design which cannot be regulated through zoning.

1. Should the Town study this issue further?
2. Should the Town provide residents with further information regarding HCD's?
3. Should the Town hold a public workshop and or survey to see if people in the Glen would like to start a HCD study?



## COMMENTS